



Structured Parking





Publix Greenwise Hyde Park

Structured Parking

Tampa, FL

Project Highlights

With “new urbanism” in vogue and the scarcity of commercially entitled land becoming an ever increasing problem, there is a huge increase to redevelop existing areas and increase densities.

Publix Supermarkets identified the South Tampa market as an area that matches their demographics to launch a new concept in their grocery store business. This “Greenwise Market” brand is the second ever constructed in the State of Florida, and the first in the highly urban setting of South Tampa.

The store features nearly 40,000 sf of retail space on the ground with 2 levels of structured parking above the store. Oversized elevators, escalators and cart conveyors transport customers to their vehicles enclosed in a 2-story glass atrium.

Utilizing the design/build delivery method for the very first time, Publix Supermarkets chose R.R. Simmons to provide a total precast solution. Accents of thin in-lay brick and architectural detailing are integrated into the exterior precast wall panels. The exposed double tee floor system is seen from below on the sales floor due to integrating the roof insulation into the precast system, thus eliminating the need for a secondary drop ceiling.

This project sets the standard for this new upscale prototype grocery store. R.R. Simmons sets the standard for how it was delivered.



Project Summary

- **Client**
Publix Supermarkets, Inc.
- **Location**
Tampa, FL
- **Delivery System**
Design/Build
- **Project Size**
190 Spaces
2 Levels
199,092 Square Feet
- **Building Systems**
Vibrofloatation Foundation
Total Precast Solution
- **Project Features**
Thin Brick Precast Panels
Architectural Detailing
Stormwater Vault Under Garage Ramp
Integral Roof Insulation in Precast Floor
Elevators, Escalators and Shopping Cart Conveyor





Sand Lake Hospital

Structured Parking

Orlando, FL

Project Highlights

As part of a \$50 million expansion to their Sand Lake Hospital facility, Orlando Regional Healthcare Systems selected R.R. Simmons as Design/Builder to provide their first ever design/build effort for this structured parking solution. Working closely with the hospital staff and the master planned design concepts created by HKS Architects, R.R. Simmons provided a precast concrete parking structure that integrates with the architectural themeing of the new hospital expansion and provides the much needed extra space to their campus.

This parking structure, which is located at the main front entrance of the hospital, incorporates many enhanced architectural features such as intricately detailed concrete panels and decorative tube steel accents along the facade of the structure. Part of the building program required this structure to be built 10' higher than the existing surrounding grade in order to elevate it above the flood plain. Other features of this garage include an emergency electric generator, oversized elevator cabs and an enclosed area at the ground level to house the Security Services for the hospital.



Project Summary

- **Client**
Orlando Regional Healthcare Systems
- **Location**
9400 Turkey Lake Road, Orlando, FL
- **Delivery System**
Design/Build
- **Project Size**
862 Spaces
5 Levels
291,160 Square Feet
- **Building Systems**
Pretopped Precast Double Tees
Emergency Generator
- **Project Features**
Architectural Detailing
Connector Bridge to Hospital
Security Office Area
Expandable



Franklin Street Garage

Structured Parking

Clearwater, FL

Project Highlights

As part of a master planned expansion program which includes the construction and renovation of over one million square feet of buildings, the Church of Scientology selected R.R. Simmons to design and construct a much needed parking structure to serve their downtown Clearwater facilities.

Working with the Owner's design concepts and inhouse architectural and construction staff, R.R. Simmons provided a cost effective, functional and efficient structured parking solution that met their programming needs and blended with the existing architectural themeing of the Clearwater campus.

This project includes four matching corner towers that relate to an adjacent Central Energy Building structure and the new Flag Mecca building which is the central focal point of the Clearwater campus. These towers include architectural precast, EIFS architectural detailing and clay tile roofs that match the surrounding structures.

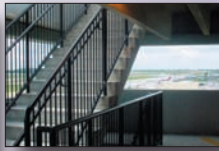
The original plans for the project called for drilled caisson piling for the deep foundation support system. During the early stages of design, R.R. Simmons suggested the use of a vibrofloatation system which saved the client hundreds of thousands of dollars and nearly four weeks on the overall project schedule.

Careful planning and coordination during construction was necessary in order to work in this downtown environment and near existing underground utilities and adjacent buildings. The use of precast concrete greatly aided in the ability to work within the confines of this restricted site.



Project Summary

- **Client**
Church of Scientology
- **Location**
Clearwater, FL
- **Delivery System**
Design/Build
- **Project Size**
580 Spaces
4 Levels
199,092 Square Feet
- **Building Systems**
Vibrofloatation Foundation
Pretopped Precast Double Tees
- **Project Features**
Architectural Towers w/ Clay Tile Roofs
Architectural Detailing
Stormwater Vault Under Garage Ramp
Ecospace Elevators
Confined Downtown Site
Close Proximity to Adjacent Structures



Corporate Ctr I @ Int'l Plaza

Structured Parking

Tampa, FL

Project Highlights

Crescent Resources, one of the South's most respected commercial developers, was faced with an age old project dilemma. Do they scale back their project and loose unrealized value in their Westshore project, or do they face up to the possibility of exceeding their budget for their International Plaza Project?

International Plaza One is the largest and most upscale commercial office project to be built in the Westshore market of Tampa in the past ten years. This highly visible project had to hit its mark on quality, amenities and price. Rather than lower the quality of the office building, the R.R. Simmons Team presented Crescent with an alternative design idea for the project's parking structure. With a well thought out plan, the Team presented solutions for constructing the deck that improved the quality and durability from the initial design while dramatically reducing the time and price to construct the facility. An alternate foundation system was explored and chosen. This choice reduced the number of steps required to complete the project and created substantial savings which could be shifted to the amenities that Crescent wanted to include in the office building.

The result was a true class A office building with an affordable structured parking solution and an award winning project.

"We have worked under tight budgets and accelerated time frames. Not once did R.R. Simmons fail to deliver as promised."

Robert J. Holmes
Regional Vice President
Crescent Resources



Project Summary

- **Client**
Crescent Resources
- **Location**
2202 North Westshore Blvd., Tampa
- **Delivery System**
Construction Management
- **Project Size & Type**
1,500 Spaces
5 Levels
600,000 Square Feet
- **Building System**
Drilled Caisson Foundations
Pretopped Precast Double Tees
- **Special Features**
Large 5-Bay Wide Footprint
Decorative Stair Towers
Incorporated Central Plant Facility



Brandon Regional Hospital

Structured Parking

Brandon, FL

Project Highlights

In order to meet community needs, Brandon Regional Hospital initiated a \$65 million expansion project. With this expansion, additional parking at the site was a necessity. Brandon Regional Hospital engaged R.R. Simmons to provide a parking garage using the Design/Build delivery system.

The parking garage was designed to allow a road to pass underneath and was aesthetically tied to the hospital expansion. Modified interior ramps allowed for on-ramp parking. A gearless traction elevator was installed to provide quick access and reduced operating cost.

Close coordination of the Owner's civil and site consultant was needed to prepare utilities to match the deck's foundations and to accommodate the master site drainage plan features. The composition of the soils at the site required a vibro-replacement foundation system.

Quality control was a top priority on this time constrained project. R.R. Simmons worked with the precast subcontractor to set up a process that assured quality before the product reached the field. This process, along with a review of the subcontractor's shipping methods, resulted in a shorter erection time and minimal punch list items providing a completed parking garage that exceeded the Owners' expectations.



"The new garage has turned into a very positive addition to our campus and an employee perk. You really took care of the customer."

David Park
Director of Facility Management
Brandon Regional Hospital



Project Summary

- **Client**
HCA - Hospital Corporation of America
- **Location**
119 Oakfield Drive, Brandon, FL
- **Delivery System**
Design/Build
- **Project Size**
499 Spaces
6-1/2 Levels
181,790 Square Feet
- **Building Systems**
Vibrofloatation Foundations
Pretopped Precast Double Tees
- **Project Features**
Tight Site Conditions
Tree Preservation
Adjacency to Existing Hospital Facility



JFK Medical Center

Structured Parking

Atlantis, FL

Project Highlights

As part of a \$75 million expansion to the Columbia/JFK Medical Center, R.R. Simmons was engaged to design and construct a parking solution. In order to meet the increasing parking demand, the hospital teamed with R.R. Simmons to provide a 518-space parking garage over an existing surface lot. Anticipating a future need for even more additional spaces, the parking garage was designed for a horizontal expansion that would double the size of the garage.

Interior center access ramps allow on-ramp parking and a gearless traction elevator provides efficient movement of people while lowering operating costs. R.R. Simmons worked with HCA to relocate significant existing utilities.

Project value initiatives included pre-topping the twelve foot double tees minimizing the caulking and sealants required in the garage, and expediting the erection portion of the project schedule. Corner stair towers with textured paint and decorative precast panels provide aesthetic appeal for this structure.



"R.R. Simmons' efforts in working with our primary service providers to identify cost and schedule savings opportunities are constant."

Tom Koulouris
Construction Manager
HCA

Project Summary

- **Client**
HCA - Hospital Corporation of America
- **Location**
5301 S. Congress Ave., Atlantis, FL
- **Delivery System**
Design/Build
- **Project Size & Type**
518 Spaces (Expandable to 1,000 Spaces)
6-1/2 Levels
187,993 Square Feet
- **Building System**
Vibrofloatation Foundation
Pretopped Precast Double Tees
- **Special Features**
Tight Site Conditions
Designed for Future Expansion
Adjacency to Existing Hospital Facility
Adjacency to Existing Day Care Facility



Doctors Hospital of Sarasota

Structured Parking

Sarasota, FL

Project Highlights

Today's medical field is both competitive and dynamic. Community healthcare facilities, such as Doctors Hospital, must constantly look to meet the expanding needs of their patients. Doctors Hospital has grown rapidly to meet Sarasota's healthcare needs. The growth put pressure on the facility to keep pace with the growing parking requirements of the staff and patients.

With a finite amount of land, the R.R. Simmons' Design/Build Team worked closely with the HCA staff to maximize their real estate investment while managing their bottom line. The Team offered Doctors Hospital several alternatives for solving the parking dilemma. The solution agreed upon provided Doctors Hospital a quick solution to their parking demands while leaving opportunities for future growth if demanded. Collaboration was the key to this project's successful conclusion.

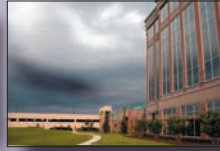


"Your firm has stepped up and resolved problems outside of your contractual responsibilities. Your firm has not taken the conventional 'not my issue' approach so often found in other firms."

Tom Koulouris
Construction Manager
HCA

Project Summary

- **Client**
HCA - Hospital Corporation of America
- **Location**
5371 Bee Ridge Road, Sarasota, FL
- **Delivery System**
Design/Build
- **Project Size & Type**
540 Spaces (Expandable to 810 Spaces)
2 Levels
166,656 Square Feet
- **Building System**
Vibrofloatation Foundation
Pretopped Precast Double Tees
- **Special Features**
Tight Site Conditions
Designed for Future Expansion
Adjacency to Existing Hospital Facility



MacDill Federal Credit Union

Structured Parking

Tampa, FL

Project Highlights

In today's highly competitive employment market, progressive companies understand the value of providing amenities for their employees in order to recruit and maintain a talented workforce. Situated on 25 acres, the MacDill Federal Credit Union Headquarters on the surface wouldn't seem like a good candidate for structured parking. However, after meeting with the project stakeholders, it was determined that providing covered parking in a secure environment in close proximity to their office building was an important amenity for this project. R.R. Simmons was able to design and deliver an attractive, functional and affordable solution for MacDill Federal Credit Union's new corporate campus that meets this need.



This 502 space, 3 level parking structure was designed with arched spandrel panels to enhance its appearance and compliment the building elements of the adjacent office building structure. The finished floor elevation was set intentionally low in order not to block the view of the main building or take away from the aesthetic focus of the campus. A covered walkway connects the main building and the parking structure to provide weather protection for those traveling to and from the building and parking facility. A fully fitted out and air conditioned work shop is situated under the ramp on the ground floor, utilizing otherwise wasted space and providing necessary functional space for much needed use.

The campus was master planned for another parking facility of similar size and configuration that will accommodate planned future expansion phases as the campus needs grow.



Project Summary

- **Client**
MacDill Federal Credit Union
- **Location**
9927 Delaney Lake Drive, Tampa, FL
- **Delivery System**
Design/Build
- **Project Size & Type**
502 Spaces
3 Levels
169,560 Square Feet
- **Building System**
Vibrofloatation Foundation
Pretopped Precast Double Tees
- **Special Features**
Decorative Arched Panels
Ground Floor Conditioned Workshop
Covered Walkway Connector
Structural Waterproofing System



Wellington Regional Hospital

Structured Parking
Wellington, FL

Project Highlights

Major population growth in this area just west of West Palm Beach, is driving the need for expanded healthcare services. When Wellington Regional Hospital needed additional parking to support a planned new medical office building and new hospital services, R.R. Simmons was selected to design and build a parking solution that fit their needs.

Initial site layouts proposed the new parking structure oriented in an east-west direction which would have required the reconfiguration of the existing surface parking lot and the relocation of extensive existing underground utilities. After analyzing this plan, R.R. Simmons suggested rotating the parking facility 90 degrees to give it a north-south orientation. This eliminated the need for the underground utilities relocation and aligned the existing driving aisles. This idea saved the Owner over \$500,000 in project cost and saved nearly 3 months on the overall project schedule.

This project was designed for a future lateral expansion. This creative thinking is why clients choose R.R. Simmons to provide Design/Build structured parking solutions.



Project Summary

- **Client**
UHS - Universal Health Systems
- **Location**
10101 West Forest Hill Blvd., Wellington, FL
- **Delivery System**
Design/Build
- **Project Size & Type**
400 Spaces (Expandable to 890 Spaces)
5-1/2 Levels
138,390 Square Feet
- **Building System**
Vibrofloatation Foundation
Pretopped Precast Double Tees
- **Special Features**
Tight Site Conditions
Designed for Future Expansion
Adjacency to Existing Hospital Facility



Manatee Memorial Hospital

Structured Parking

Bradenton, FL

Project Highlights

Needing to increase parking to accommodate future expanded healthcare services, Universal Health Systems looked to R.R. Simmons to come up with an attractive yet affordable solution to solve their parking needs. This project posed some challenges as it was discovered that the site had some existing deficient stormwater management issues that needed to be resolved before this project could move forward. The entire area beneath the new parking structure was utilized to take care of the stormwater problem by providing three very large stormwater vaults.

This project consisted of a precast concrete parking garage, ground plus two elevated parking levels, for a total of 566 spaces. The footprint is approximately 344' x 186' with interior ramps. Also included were two stair towers and a gearless, traction elevator to provide efficient movement of people.

The site was congested and construction limits for the garage allowed only 18 ft clearance on three sides and a 60' x 210' staging area on the 4th side. Because the project is bordered by the Manatee River on two sides, special consideration was given to the storm water run off.

The three 48' x 250' storm water retention vaults, constructed within the footprint of the garage, have a capacity of approximately 900,000 gallons of water. The vaults are covered with specially designed pre-topped precast concrete double tees that span the 48' width. Due to their size and location, the vaults had to be constructed in conjunction with the erection of the precast concrete garage structure.



Project Summary

- **Client**
UHS - Universal Health Systems
- **Location**
206 Second Street East, Bradenton, FL
- **Delivery System**
Design/Build
- **Project Size & Type**
566 Spaces
3 Levels
190,275 Square Feet
- **Building System**
Vibrofloatation Foundation
Pretopped Precast Double Tees
- **Special Features**
Tight Site Conditions
Existing Utilities Relocation
Three Stormwater Vaults
Adjacency to Existing Hospital Facility



Blake Medical Center

Structured Parking

Bradenton, FL

Project Highlights

Challenged by the need to grow core hospital uses and a fixed availability of land, HCA turned to the Design/Build Team of R.R. Simmons for a solution to a parking and a storm water dilemma. The R.R. Simmons Team crafted a two phased structured parking solution which provided for the initial needs of the hospital (383 spaces) and the ultimate need of 950 spaces. The first phase included all ramping, elevators and primary infrastructure for the fully completed structure, thus making the future expansion a less complicated building program. When the expansion occurs it will be built with minimal interruption to the existing parking program and it will be a lateral extension of the existing floor plates. The Team created a vaulting program under the ramp system to allow the hospital to store storm water and free up valuable land assets for core facility needs.

As a part of the design process, R.R. Simmons planned a portion of the lower floor area to be converted to a day care facility with full drop off lanes for the staff whose children use the facility. The current day care center is located at the site of the second phase of this project, thus the reason for its future incorporation into this structure. Given the structure for the day care is currently incorporated into this facility, the day care will be easily relocated and completed prior to the commencement of the second phase of parking. This elegant solution provided a more secure and responsive location for the day care center while giving HCA more choice in future facility planning.

Utilizing a system of pre-topped precast concrete double tees, R.R. Simmons was able to give HCA an affordable and low maintenance structured parking facility with great flexibility to handle the hospital's multiple challenges. The clean lines of the deck mimic the contemporary styling of Blake Hospital.

In addition to the storm water and day care challenges, both the design and construction professionals worked diligently to fit this compact facility into a grove of stately grand oaks. Both the hospital and municipality thought this effort was well worth it.



Project Summary

- **Client**
HCA - Hospital Corporation of America
- **Location**
2020 59th Street West, Bradenton, FL
- **Delivery System**
Design/Build
- **Project Size**
383 Spaces (Expandable to 950 Spaces)
5 Levels
139,225 Square Feet
- **Building Systems**
Vibrofloatation Foundations
Pretopped Precast Double Tees
- **Project Features**
Tight Site Conditions
Tree Preservation
Stormwater Vault Underneath Garage
Designed for Future Lateral Expansion
Adjacency to Emergency Entrance
Infrastructure for New Day Care Facility



Corporate Ctr III @ Hidden River

Structured Parking

Tampa, FL

Project Highlights

Having worked successfully on the initial two office buildings known as Corporate Center I & II, R.R. Simmons was engaged to complete the final phase of these Class A, six story buildings. Unlike the first two buildings, this building proved to be more of a challenge. Corporate Center III faced daunting subsurface issues and a shortage of available land to meet both the building and required parking needs. R.R. Simmons worked in concert with Crescent Development and their planners to solve the soil stability issues through the use of vibrofloatation for the foundations and the restricted parking issue by incorporating a highly affordable and efficient structured parking program.



As in the previous two Corporate Center projects, R.R. Simmons provided a tightly managed Construction Management program for the building but implemented a Design/Build approach to solve the structured parking need for Crescent. Working with the themes already in place with the design of the building, R.R. Simmons designed and constructed a parking deck that complemented the office building. With all parties in agreement, R.R. Simmons was able to site both the building and deck in a fashion that minimized the impact to the natural vegetation of the site. Hidden River's Corporate Center III is one of the most engaging and efficient buildings in this award winning business park thanks in large part to a strong team effort.

Project Summary

- **Client**
Crescent Resources
- **Location**
14025 Riveredge Drive, Tampa, FL
- **Delivery System**
Construction Management
- **Project Size & Type**
350 Spaces
2 Levels
120,000 Square Feet
- **Building System**
Vibrofloatation Foundations
Pretopped Precast Double Tees
- **Special Features**
Tree Preservation



"It has been a real pleasure to be associated with R.R. Simmons. The project was completed on budget and on time and left our customers extremely happy with the project."

Joseph Taggart
President
Hidden River Marketing Group



Sable Park Building V

Structured Parking

Tampa, FL

Project Highlights

When NCNB Real Estate Investment Fund decided to develop its last remaining commercial site in Sabal Park, it faced a tough decision. The fund could either build a very small building that under utilized the real estate or it could choose to offer structured parking associated with its suburban office building. The analysis showed that the structured parking would be an amenity for the building and set it apart from other competitive buildings in the market.

In keeping with NCNB's commitment to a brick facade, the R.R. Simmons Team worked to deliver a parking structure that blended into the brick theme. This low rise structure looks more like a single story office than a parking structure. The extensive landscaping further reduced the attention to the structure.

When a national trade publication firm looked to move its headquarters to Tampa, it chose this complex because it offered structured parking for its employees. R.R. Simmons and the NCNB Team have constructed more than 300,000 square feet of commercial projects together.



Project Summary

- **Client**
Nations Bank Realty Trust
- **Location**
Sabal Business Park, Tampa, FL 33610
- **Delivery System**
Design/Build
- **Project Size & Type**
150 Spaces
2 Levels
85,000 Square Feet
- **Building System**
Pretopped Precast Double Tees
- **Special Features**
Brick In-Laid Panels
Stormwater Vault
Tight Urban Site